



Inspection Report

Mr. John Homebuyer

Property Address:
123 Main Street
Houston TX 77007



EDP Consulting Engineers, PLLC

Gerald C. Reece, PE TREC #7825
14119 Willowsong Ct
Missouri City, TX 77489



Table of Contents

[Cover Page](#)

[Table of Contents](#)

[Intro Page](#)

[I STRUCTURAL SYSTEMS](#)

[General Summary](#)

[Invoice](#)

[Inspection Agreement](#)

Date: 12/2/2009	Time: 11:45 AM	Report ID: I-112809
Property: 123 Main Street Houston TX 77007	Customer: Mr. John Homebuyer	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (I) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Deficiency (D) = The item, component or unit is not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

In Attendance:
Vacant (inspector only)

Type of building:
Multi-family

Approximate age of building:
Over 25 Years

Temperature:
Below 60

Weather:
Clear

Ground/Soil surface condition:
Dry

Rain in last 3 days:
No

I. STRUCTURAL SYSTEMS

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Type (s) of Roof Covering:

Roll/Selvage

Viewed roof covering from:

Walked roof

Viewed roof structure from:

Walked roof

Roof Structure:

Not visible

Inspection Items

B. Grading & Drainage

Comments: Inspected

C. Roof Covering Materials

Comments: Inspected, Deficiency

(1) The roof covering is old, and its life expectancy is close to expiration. Previous repairs and patchwork have been applied to the roof covering however, due to the amount of damage, we recommend that the roof covering should be replaced. While it may last for an unknown length of time, many areas require patching with tar to prevent leaks which may develop and excess debris should be removed.

Please see the items in this section to view a detailed description of the roof damage.

(2) The metal drip edge is loose and deteriorated in various areas along the perimeter of the roof covering. Also, several areas of drip edge have lifted nails. This current condition of the drip edge could cause moisture or water to be blown into the attic when raining and further deterioration may occur if not corrected. A qualified contractor should inspect and repair as needed.



C. Picture 1



C. Picture 2



C. Picture 3

(3) The flat roof covering is damaged at the front of the residence. The decking is exposed and the underlayment is deteriorated. Three or more layers of roof covering exist on roof. This roof has more layers of roof covering than what is normally allowed and can cause excessive weight on roof covering.



C. Picture 4

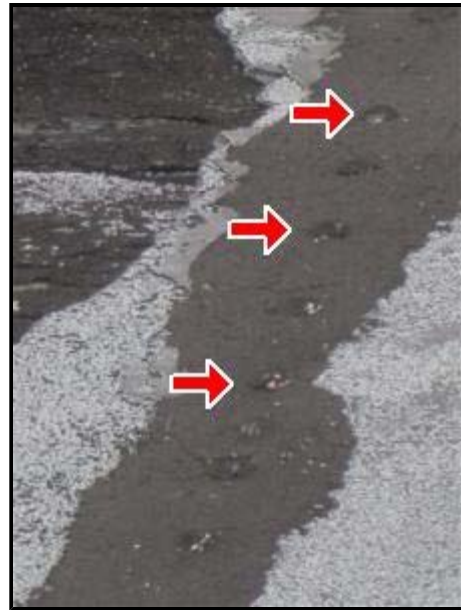


C. Picture 5

(4) The fastening nails along the overlapped sections of the rolled roofing are protruding at various areas along the roof covering. These should be properly caulked to prevent water intrusion throughout the attic structure.



C. Picture 6

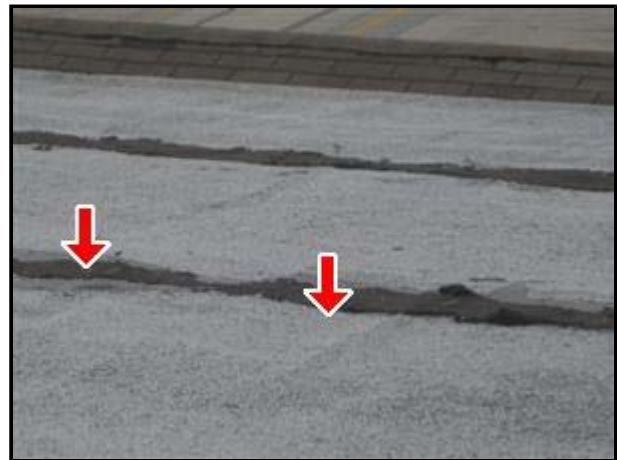


C. Picture 7

(5) Blistering of the roll roofing sections in various areas of entire roof.



C. Picture 8



C. Picture 9



C. Picture 10

(6) The caulked areas of the overlapped rolled roofing indicates deterioration that may cause possible leakage at the overlapped sections.



C. Picture 11



C. Picture 12

(7) Debris has been left of the roof covering. This is a safety issue. Recommend removal of debris.



C. Picture 13

(8) Excessive caulk along the repaired sections of the roof covering.



C. Picture 14



C. Picture 15

(9) "Cupping" in the roof covering at the rear of the residence. This can cause standing water and lead to possible water penetration to interior of structure.



C. Picture 16



C. Picture 17

(10) Soft spots in various locations of the roof. When roof replacement occurs, ensure contractor replaces the damaged and deteriorated decking prior to roof installation.

D. Roof Structure & Attic

Comments: Not Inspected, Deficiency

Upon the time of inspection, the attic space was not accessible to the inspector. Due to the sever damage found on the roof covering, an inspection of the roof is recommended by an inspector or a qualified contractor.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To EDP Consulting Engineers, PLLC

General Summary



EDP Consulting Engineers, PLLC

14119 Willowsong Ct
Missouri City, TX 77489

Customer

Mr. John Homebuyer

Address

123 Main Street
Houston TX 77007

The following items or discoveries indicate that these systems or components **do not function as intended or adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. STRUCTURAL SYSTEMS

C. Roof Covering Materials

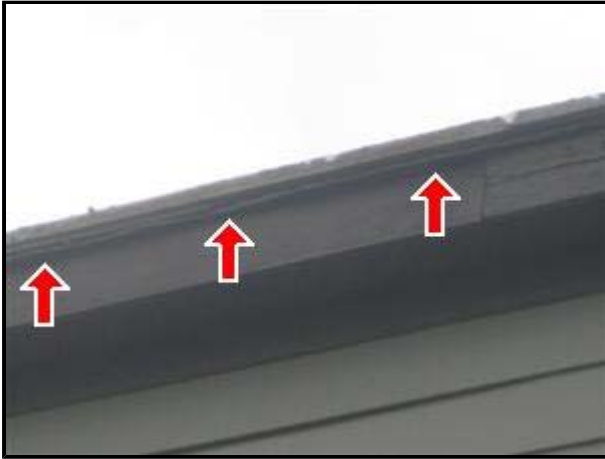
Inspected, Deficiency

(1) The roof covering is old, and its life expectancy is close to expiration. Previous repairs and patchwork have been applied to the roof covering however, due to the amount of damage, we recommend that the roof covering should be replaced. While it may last for an unknown length of time, many areas require patching with tar to prevent leaks which may develop and excess debris should be removed.

Please see the items in this section to view a detailed description of the roof damage.

(2) The metal drip edge is loose and deteriorated in various areas along the perimeter of the roof covering. Also, several areas of drip edge have lifted nails. This current condition of the drip edge could cause moisture or water to be blown into the attic when raining and further deterioration may occur if not corrected. A qualified contractor should inspect and repair as needed.

I. STRUCTURAL SYSTEMS



C. Picture 1



C. Picture 2



C. Picture 3

(3) The flat roof covering is damaged at the front of the residence. The decking is exposed and the underlayment is deteriorated. Three or more layers of roof covering exist on roof. This roof has more layers of roof covering than what is normally allowed and can cause excessive weight on roof covering.



C. Picture 4



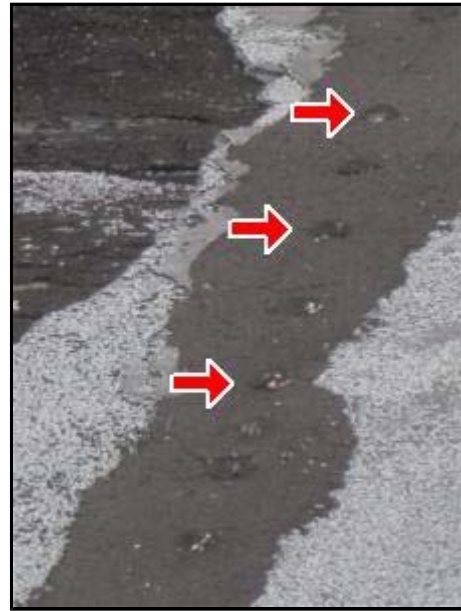
C. Picture 5

(4) The fastening nails along the overlapped sections of the rolled roofing are protruding at various areas along the roof covering. These should be properly caulked to prevent water intrusion throughout the attic structure.

I. STRUCTURAL SYSTEMS



C. Picture 6

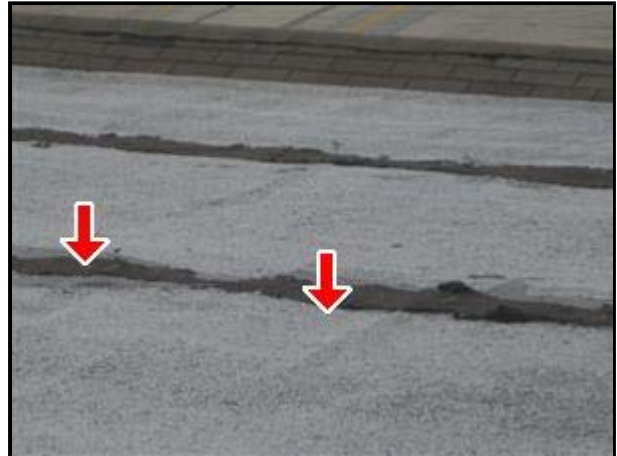


C. Picture 7

(5) Blistering of the roll roofing sections in various areas of entire roof.



C. Picture 8



C. Picture 9



C. Picture 10

(6) The caulked areas of the overlapped rolled roofing indicates deterioration that may cause possible

I. STRUCTURAL SYSTEMS

leakage at the overlapped sections.



C. Picture 11



C. Picture 12

(7) Debris has been left of the roof covering. This is a safety issue. Recommend removal of debris.



C. Picture 13

(8) Excessive caulk along the repaired sections of the roof covering.



C. Picture 14



C. Picture 15

(9) "Cupping" in the roof covering at the rear of the residence. This can cause standing water and lead to possible water penetration to interior of structure.

I. STRUCTURAL SYSTEMS



Sloping in the roof covering

C. Picture 16



C. Picture 17

D. Roof Structure & Attic

Not Inspected, Deficiency

Upon the time of inspection, the attic space was not accessible to the inspector. Due to the sever damage found on the roof covering, an inspection of the roof is recommended by an inspector or a qualified contractor.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To EDP Consulting Engineers, PLLC



INVOICE

EDP Consulting Engineers, PLLC
 14119 Willowsong Ct
 Missouri City, TX 77489
 Inspected By: **Gerald C. Reece, PE TREC**
#7825

Inspection Date: 12/2/2009
Report ID: I-112809

Customer Info:	Inspection Property:
Mr. John Homebuyer Customer's Real Estate Professional:	123 Main Street Houston TX 77007

Inspection Fee:

Service	Price	Amount	Sub-Total
			Tax \$0.00
			Total Price \$0.00

Payment Method: Credit Card
Payment Status: Invoice Sent
Note:

Inspection Agreement

This inspection was performed in accordance with and under the terms of a Pre-Inspection Agreement. The agreement was signed and agreed upon before the preparation of this report and a signed copy of the agreement is available upon request. An unsigned copy of the agreement may be attached to this report for your information or it may also be available on the home inspection company web site.